



SPEEDWAY BOARD OF ZONING APPEALS
OF MARION COUNTY, INDIANA
PETITION FOR VARIANCE 2024-DVS-001

Docket No. _____

Address of Subject Property: 2610 North High School Road
Petitioner(s) Name: Chris Heitz Phone: 812-216-9034
Petitioner(s) Address: 905 Industrial Drive, Madison, IN Zip Code: 47250
Petitioner E-mail: chris@heitzsign.com
Property Owner(s) name(s) [if different from Petitioner(s)]: First Financial Bank
Owner(s) Address: 255 East 5th Street #700, Cincinnati, OH 45202-470
Owner(s) E-mail: jeffrey.hartley@bankatfirst.com

Legal Description (check one):
Complete Metes and Bounds legal description attached.
Platted Site within recorded subdivision, copy of plat map attached. Subdivision Name: Founders Square
Lot No(s): 1 Section No(s): 26
Recorded in Plat Book number: _____ Page(s): _____ in the Marion County Recorder's Office.

If this property was the subject of any previous petition, list the previous docket number: _____
Current Zoning Classification: CS Acreage: 58370 Sq. Ft Township: Wayne
Existing Use of Subject Property: Banking
Existing improvements on Subject Premises: _____

Request is for (check all that apply):
Variance of Use [] Variance of Development Standards [X]

(Provide a detailed description of the proposal. Specify any specific ordinance(s), standard(s), condition(s), commitment(s), and/or regulation(s) sought to be modified. Attach additional pages if necessary.)

We are requesting a Variance to 744-906-1.C of the zoning ordinance that limits the quantity of monument signs along a shared integrated center frontage

Oath: The above information, to my knowledge and belief, is true and correct.

Chris Heitz (Signature)

Signature(s) of Petitioner(s)

Signature(s) of Owner(s) (If different than petitioner)

STATE OF Indiana

STATE OF _____

COUNTY OF Marion, SS

COUNTY OF _____, SS

Subscribed and sworn to before me this

Subscribed and sworn to before me this

28 day of December, 2023

____ day of _____, 20__

Robin Lery (Signature)

Notary Public

Notary Public

Robin Lery (Printed name)

Printed name of Notary Public

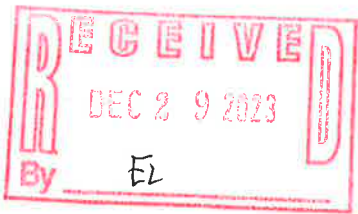
My Commission expires: September 13, 2029

My Commission expires: _____

My County of residence: Marion

My County of residence: _____





SPEEDWAY BOARD OF ZONING APPEALS OF MARION COUNTY, INDIANA
PETITION FOR VARIANCE OF DEVELOPMENT STANDARDS

FINDINGS OF FACT

- 1. The grant will not be injurious to the public health, safety, morals, and general welfare of the community because:

granting this variance will not cause any visibility concerns to passing motorists. The granting of this variance will allow increased visibility to motorists traveling south on High School Road which will give the driver increased stopping distance to make a right turn into the property.

- 2. The use or value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner because:

the sign will be located in front of the bank's property and will not affect adjacent properties. Other businesses that have space on the shared multi-tenant sign have monument signs located in front of their lots.

- 3. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property because:

the apartment complex located directly north of the bank's property has many over-grown trees which makes it hard to locate the entrance when traveling south on High School Road. Allowing the monument sign will create more visibility and give more time to safely make a right turn into the lot.

IT IS THEREFORE the decision of this body that this VARIANCE petition is granted, subject to any conditions stated in the minutes (which are incorporated herein by reference and made a part of this decision).

Adopted this ____ day of _____, 20__

_____ Chairperson

_____ Vice-Chairperson

_____ Secretary

_____ Member

_____ Member

Parcel Number	9059634	Ownership	First Financial Bank	Transfer of Ownership	Date	Dec 05, 2022	Grantor	HG REBAR SPEEDWAY 2500 LLC - Jan 01, 1900	Year	2023	Valid	Y	Card 1	Amount	0.00	Type	Straight
County	Marion, IN	Name	FIRST FINANCIAL BANK	Date	Dec 05, 2022	Grantor	HG Rebar Speedway 2500, LLC - Nov 18, 2022	Year	2022	Valid	N		Amount	500000.00	Type	Sale	
Township	WAYNE	Address	255 E 5TH ST # 700 CINCINNATI, OH 45202--470														
Corporation																	
District																	
Plat																	
Map	000000000000																
Alt Parcel	49-05-26-102-038-000-914																
Property Class	400																
Tax District	914																
Neighborhood	9400305-9-400-C05																

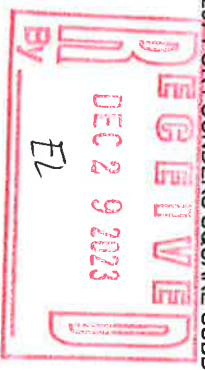
Property Address: 2610 N HIGH SCHOOL RD
INDIANAPOLIS, IN 46224

Account	3075467	Page	
Book			
Legal	FOUNDERS SQUARE SUBDIVISION L1		
Assessment Year	2023	2022	2021
Reason for Change			
Land	Homestead-C1	0	0
	Residential-C2	0	0
	Non-Residential-C3	224,700	224,700
	Total Land	224,700	224,700
Improvements	Homestead-C1	0	0
	Residential-C2	0	0
	Non-Residential-C3	0	0
	Total Imp	0	0
Total Assessed Value:	224,700	224,700	204,300

Property Sub Class: COM VACANT LAND-400

Memorandum

CREATED 9059634-9059641 FROM 9058854 FOR 2021P2022 PER INST#2020-91207 FOR FOUNDERS SQUARE SUBDIVISION.



2024-DVS-001

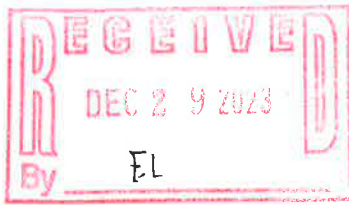
Land Type

- F Front Lot
- R Rear Lot
- 1 Comm. Ind. Land
- 11 Primary
- 12 Secondary
- 13 Undeveloped Usable
- 14 Undeveloped Unusable
- 2 Classified Land
- 3 Undeveloped Land
- 4 Tillable Land
- 5 Non-tillable Land
- 6 Woodland
- 7 Other Farmland
- 8 Ag Support Land
- 81 Legal Ditch
- 82 Public Road
- 83 Utility Trans. Tower
- 9 Homeste
- 91 Res. Excess Acres
- 92 Ag Excess Acres
- Influence Factors
- 0 Other
- 1 Topography
- 2 Under Improved
- 3 Excess Frontage
- 4 Shape or Size
- 5 Mismovement
- 6 Restrictions
- 7 Traffic Flow
- 8 View
- 9 Corner Int.

VALUATION RECORD

LAND DATA AND COMPUTATIONS

Land Type	Actual Frontage	Effective Frontage	Effective Depth	Factor	Base Rate	Adjusted Rate	Estimated Value	Influence Factor	Land Value
13			58370		3.85	3.85	233480		224730
		Acreage / Sq. Ft.							
Total Residential Land Value									
Total Non-Residential Land Value									
Total Land Value									



2024-DVS-001

Founders Square Design Review Board
5300 Crawfordsville Road
Speedway, IN 46224
317 246-4100

November 28, 2023

Heitz Sign Company
Attention: Chris Heitz
905 Industrial Dr
Madison, IN 47250

Dear Chris,

The Founders Square Design Review Board and the Speedway Redevelopment Commission Administrator have reviewed the signage package that was submitted for First Financial Bank located at 2610 N. High School Road in the Founders Square development.

The Review Board have made the following decisions from the submitted signage design plans:

- The non-illuminated wall signs submitted as Exhibit A have been approved.
- The 3 directional non-illuminated signs submitted as Exhibit B have been approved.
- The marquee sign submitted as Exhibit C has been approved.
- The signage design plan for the monument sign has been denied. Per 744-906-1.C: "The proposed monument sign for this property would be the third monument sign placed along the shared integrated center frontage (the first is associated with the existing business at 2606 High School Rd, and the second was recently approved at 2525 Founders Square Dr)". The referenced table of the Indianapolis Zoning Ordinance indicates that even with 300' separation, there is a maximum of two monument signs allowed per frontage. If you wish to proceed with the monument sign a variance will be required.

If you have any questions or concerns, please contact me at 317-246-4100.

Best regards,

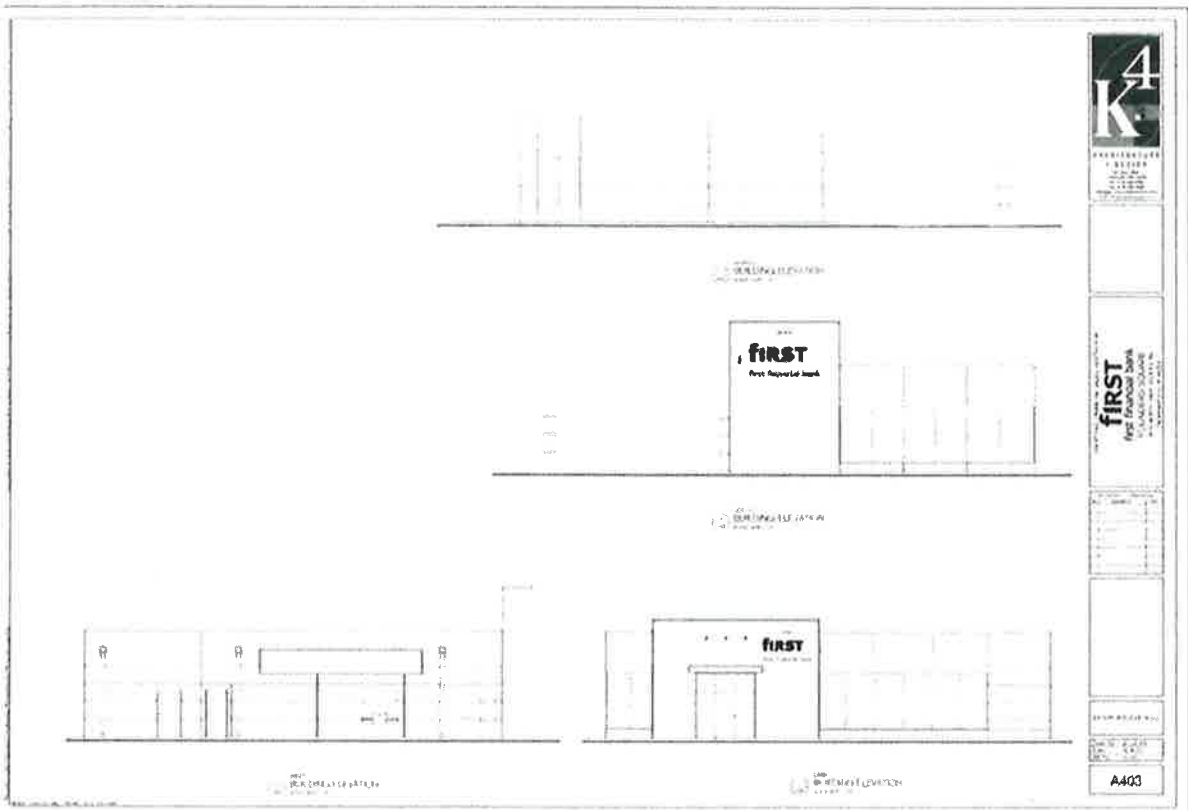
Grant A. Kleinhenz, ICMA-CM
Town Manager
Redevelopment Commission Administrator

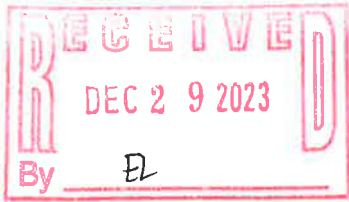
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Exhibit A

Building Signage

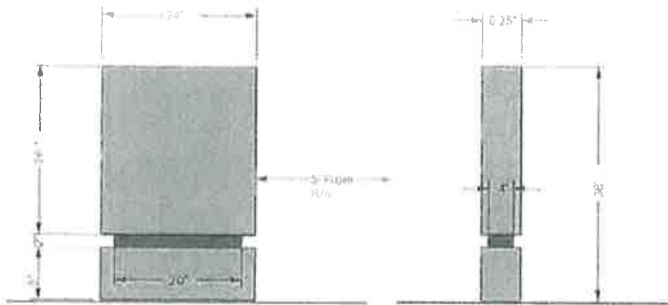




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Exhibit B

3 Directional Non-illuminated Signs



Proposed: Two (2) 36" x 24" (overall) x 6.25" double face fabricated aluminum directional with 1/8" thick aluminum faces and counter sunk s/s screws on one side of the sign. Provide a 2" x 20" x 4" reveal painted to match PMS 285C. Paint cabinet to match PMS 1225C Yellow with Gloss Clear Coat. Center pole mount cabinet on a 2" x 2" x 1/8" aluminum tube extended for direct burial. Premium vinyl copy.

Directional 1



Directional 2



Directional 3

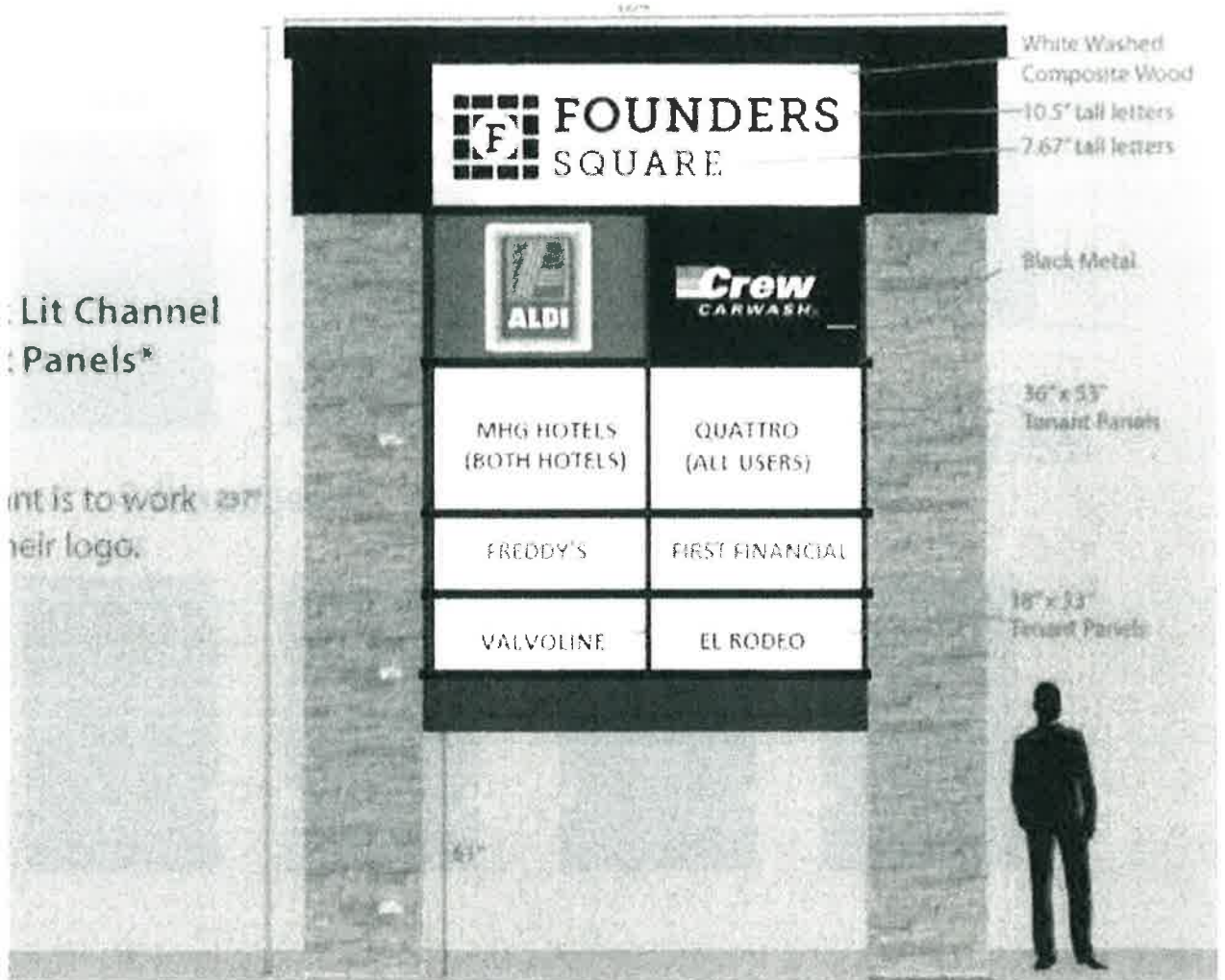


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Exhibit C

Marque Signage



Lit Channel
Panels*

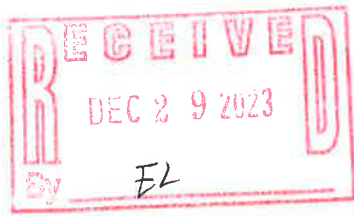
nt is to work at
their logo.

White Washed
Composite Wood
10.5" tall letters
7.67" tall letters

Black Metal

36" x 53"
Tenant Panels

18" x 33"
Tenant Panels



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EXHIBIT A

PARCEL 1

BEING ALL OF LOT 1 IN SECONDARY PLAT FOR FOUNDERS SQUARE SUBDIVISION PART OF THE NORTHEAST $\frac{1}{4}$ AND THE SOUTHEAST $\frac{1}{4}$ OF SECTION 26, TOWNSHIP 16 NORTH, RANGE 2 EAST, WAYNE TOWNSHIP, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 20, 2020 AS INSTRUMENT NO. A202000091207 IN THE OFFICE OF THE RECORDER OF MARION COUNTY, INDIANA.

PARCEL 2

NON-EXCLUSIVE COMMON FACILITY EASEMENT FOR SIGNAGE, DRAINAGE, AND UTILITIES, COMMON UTILITY SYSTEM FOR STORM WATER DRAINAGE, SANITARY SEWER, GAS LINES, WATER MAINS, TELEPHONE LINES AND ELECTRICAL SERVICE AND ACCESS ROADWAYS AS SET OUT IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTION FOR FOUNDERS SQUARE RECORDED FEBRUARY 5, 2020 AS INSTRUMENT NO. A202000013404 AND AMENDED BY FIRST AMENDMENT TO DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTION FOR FOUNDERS SQUARE RECORDED OCTOBER 20, 2020 AS INSTRUMENT NO. A202000120164, IN THE OFFICE OF THE RECORDER OF MARION COUNTY, INDIANA.

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first

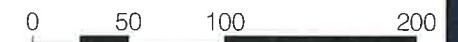
first financial bank

FIRST FINANCIAL BANK - SPEEDWAY



ZONING SITE PLAN

SCALE: 1"=100'-0"



SCALE: 1" = 100'

FILE LOCATION: X:\2022 Projects\2022 K4 Architecture\22 FFB Projects\22-2052 FFB Founders Square\Correspondence\Sent\2023 12-18 Cheitz mon variance PLOT DATE: Dec 19, 2023 12:53 PM

FILENAME: 22-2052 zoning scale.dwg

ISSUE DATE: 12/19/23

2610 NORTH HIGHSCHOOL RD, INDIANAPOLIS, IN 46224

K4 ARCHITECTURE, LLC
555 Gest Street
Cincinnati, Ohio 45203
Tel: (513) 455-5005
Fax: (513) 455-5008

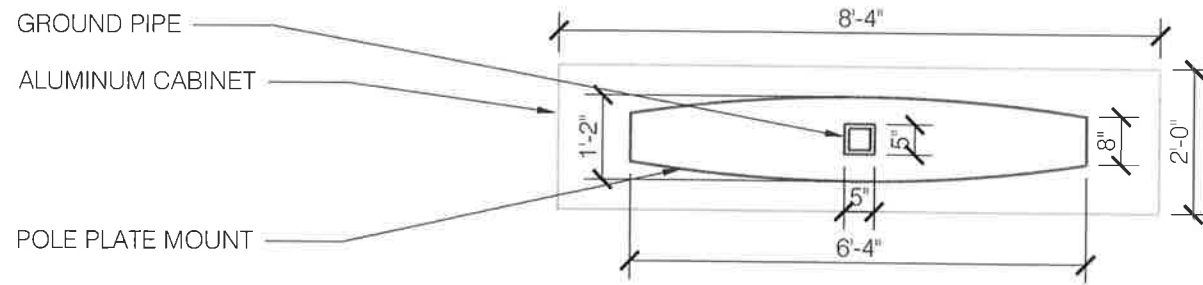


ARCHITECTURE
+ DESIGN

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2024-DVS-001



4 TOP VIEW
SCALE: 3/8" = 1'-0"

ALUMINUM FACES W/ 2D PAINTED
NON-ILLUMINATED REVERSE
CHANNEL LETTERS AND
BRUSHES ALUMINUM TRIM

REVERSE CHANNEL LETTERS TO
STAND 1/2" OFF OF FACE

EXTRUDED ALUMINUM
CONSTRUCTED, DOUBLE
SIDED, POLE PLATE
MOUNT, BRUSHED FINISH
WITH ROUNDED COVER



2 FRONT VIEW
SCALE: 3/8" = 1'-0"

1.5"x1.5" ANGLE IRON
FIELD WELD TO PIPE

CONCRETE BASE

PANTONE 285C
3M PROCESS BLUE/ 3630-337

3M DUAL-COLOR
BLACK FILM/ 3635-222

PANTONE 1225C

BRUSHED ALUMINUM
MP30136

first

first financial bank

FIRST FINANCIAL BANK SPEEDWAY- MONUMENT SIGN



GROUND ILLUMINATION

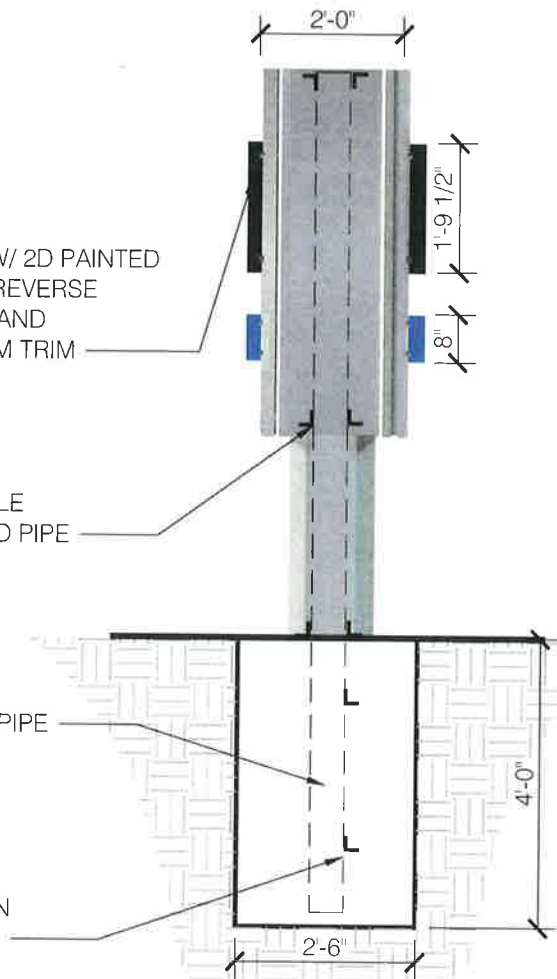
3 PROPOSED ILLUMINATION
SCALE: N.T.S.

ALUMINUM FACES W/ 2D PAINTED
NON-ILLUMINATED REVERSE
CHANNEL LETTERS AND
BRUSHES ALUMINUM TRIM

1.5"x1.5"x3/16" ANGLE
IRON FIELD WELD TO PIPE

5" SCH 40 GROUND PIPE

1.5"x1.5" ANGLE IRON
FIELD WELD TO PIPE



1 SIDE VIEW
SCALE: 3/8" = 1'-0"

FILE LOCATION: X:\2022 Projects\2022 K4 Architecture\22 FFB Projects\22-2052 FFB Founders Square\Arch PLOT DATE: Dec 19, 2023 12:46 PM

FILENAME: 22-2052 A401.dwg

ISSUE DATE: 12/12/23

2610 NORTH HIGHSCHOOL RD, INDIANAPOLIS, IN 46224

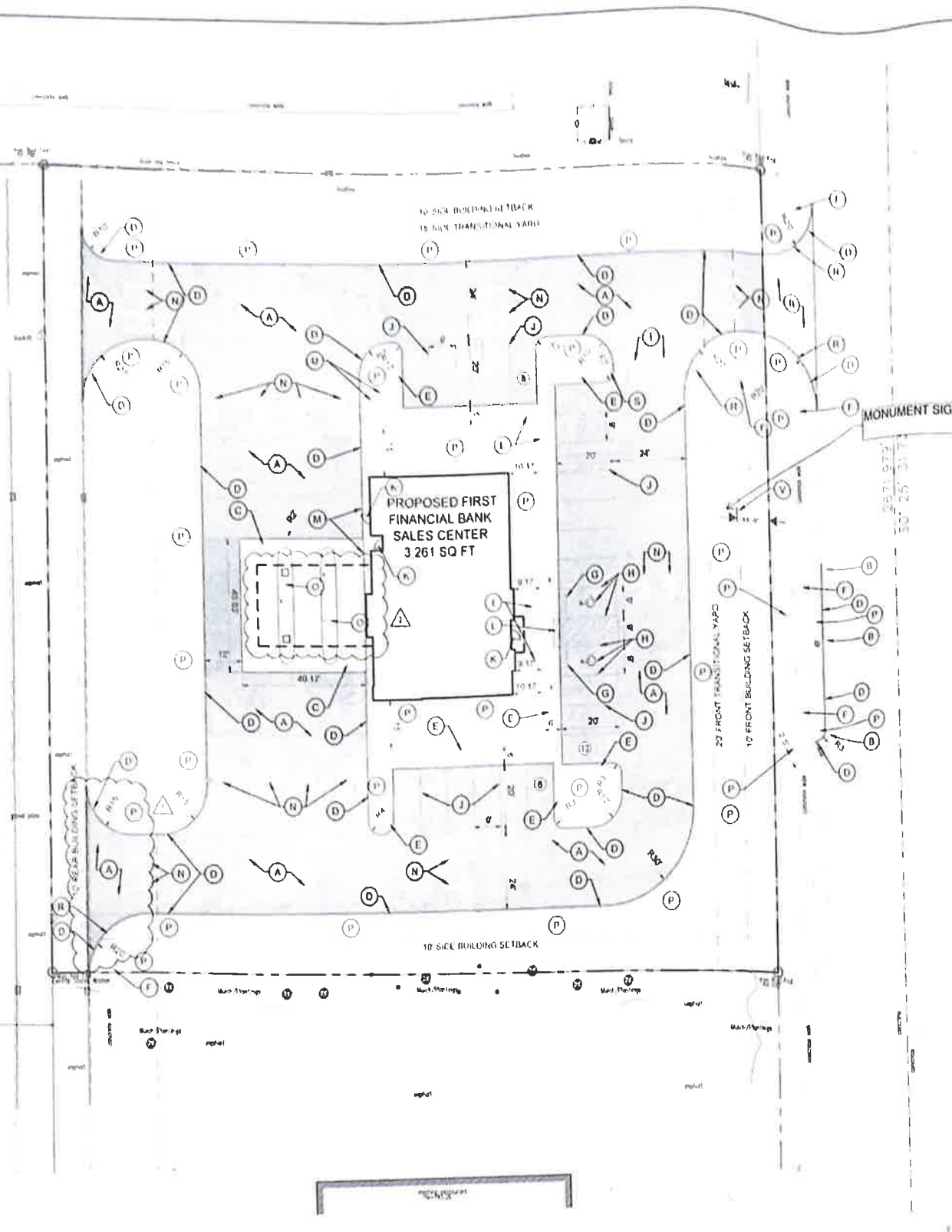
K4 ARCHITECTURE, LLC
555 Gest Street
Cincinnati, Ohio 45203
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Fax: (513) 455-5008



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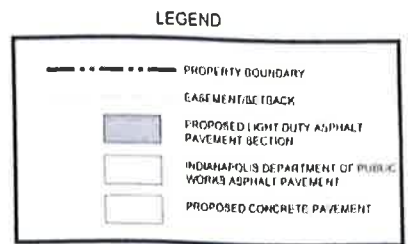


SITE DEVELOPMENT PLAN
 Scale 1" = 20'



DEVELOPMENT SUMMARY
 TOTAL SITE AREA = 88,114 SQ FT
 ZONING = SPECIAL COMMERCIAL DISTRICT (SC)
 METRO CODE AT AREA
 PARKING CALCULATIONS
 1 SPACE PER 100 SF (MIN. REQUIREMENT)
 PARKING SPACE TO BE PROVIDED
 33 SPACES INCLUDING 2 ACCESSIBLE SPACES
 DRIVE THROUGH REQUIRED AND PROVIDED
 3 SPACES BEFORE AIRWAYWAY TOWER

- SITE LAYOUT NOTES**
- ALL EXISTING UTILITIES TO BE MAINTAINED UNLESS OTHERWISE NOTED ON THE PLAN.
 - ALL PARKING SPACES TO BE CONCRETE WITH 2" MINIMUM THICKNESS ASPHALT SURFACE FOR CURBS, 4" MINIMUM THICKNESS ASPHALT SURFACE FOR DRIVEWAYS.
 - ALL DRIVEWAYS TO BE CONCRETE WITH 4" MINIMUM THICKNESS ASPHALT SURFACE FOR DRIVEWAYS.
 - ALL DRIVEWAYS TO BE CONCRETE WITH 4" MINIMUM THICKNESS ASPHALT SURFACE FOR DRIVEWAYS.
 - THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND PROVIDE PROTECTIVE CASING WHERE NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES AND PROVIDE PROTECTIVE CASING WHERE NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES AND PROVIDE PROTECTIVE CASING WHERE NECESSARY.
 - PROVIDE AND INSTALL TRANSITION YARD AS SHOWN ON THE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES AND PROVIDE PROTECTIVE CASING WHERE NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES AND PROVIDE PROTECTIVE CASING WHERE NECESSARY.
 - ALL EXCAVATED AREAS TO BE SURFCEMENT. PROVIDE AND INSTALL 4" MINIMUM THICKNESS ASPHALT SURFACE FOR DRIVEWAYS.
 - RE SURFACE ALL EXISTING ASPHALT DRIVEWAYS WITH 4" MINIMUM THICKNESS ASPHALT SURFACE FOR DRIVEWAYS.
 - ALL UTILITY LOCATIONS WITHIN STREET OF PAVEMENT SHALL BE COMPLETELY BACKFILLED WITH GRANULAR FILL.
 - ALL PAVS INDICATED SHALL BE CONCRETE WITH 4" MINIMUM THICKNESS ASPHALT SURFACE FOR DRIVEWAYS.
 - THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND PROVIDE PROTECTIVE CASING WHERE NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES AND PROVIDE PROTECTIVE CASING WHERE NECESSARY.



- PLAN NOTES**
- PROVIDE AND INSTALL LIGHT DUTY ASPHALT PAVEMENT PER DETAIL SHEET C10
 - PROVIDE AND INSTALL INDIANAPOLIS DEPARTMENT OF PUBLIC WORKS ASPHALT PAVEMENT PER DETAIL SHEET C11
 - PROVIDE AND INSTALL CONCRETE PAVEMENT PER DETAIL SHEET C13
 - PROVIDE AND INSTALL STRAIGHT CONCRETE CURB PER DETAIL SHEET C12
 - PROVIDE AND INSTALL CONCRETE CURB AND WALK PER DETAIL SHEET C10
 - REFER TO PLAN FOR PROPOSED TOTAL WIDTH AND HEIGHT
 - PROVIDE AND INSTALL CONCRETE SIDEWALK PER DETAIL SHEET C10
 - PROVIDE AND INSTALL PRECAST CONCRETE WALKER STOP PER DETAIL SHEET C10
 - PROVIDE AND INSTALL 4" WIDE ACCESSIBLE PARKING PAINT STRIPING (WALKER STOP) IN ACCORDANCE WITH INDIANA CODE 9-10-2-4
 - ACCESSIBLE PARKING SIGN BY OWNER
 - PROVIDE AND INSTALL 4" WIDE PASSENGER CAR PAINT STRIPING (WHITE)
 - CONCRETE FLOOR REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
 - PROVIDE AND INSTALL CURB RAMP WITH DETECTABLE WARNING SURFACE PER IBCOT STANDARD DRAWING FOR CURBS OR REFER TO SHEET C10 FOR DETAILS
 - TAPER CONCRETE CURB FROM 8" TO 4" OVER LAST 1'
 - PROVIDE AND INSTALL PAINTED DIRECTIONAL ARROW (WHITE) PER MANUFACTURER'S SPECIFICATIONS
 - PROVIDE AND INSTALL 6" CONCRETE MEDIAN PER STRUCTURAL PLAN
 - PROVIDE A MINIMUM 6" FERTILE TOPSOIL CAPABLE OF SUSTAINING LAWN GROWTH. DISTURBED AREAS TO BE SOCCED
 - PROVIDE AND INSTALL PERPENDICULAR CURB RAMP WITH BUFFER AND DETECTABLE WARNING SURFACE PER IBCOT STANDARD DRAWING FOR CURBS OR REFER TO SHEET C10 FOR DETAILS
 - PROVIDE AND INSTALL PERPENDICULAR CURB RAMP ADJACENT CURB WITH DETECTABLE WARNING SURFACE PER IBCOT STANDARD DRAWING FOR CURBS OR REFER TO SHEET C10 FOR DETAILS
 - PROVIDE AND INSTALL 2" x 10" WIDE PASSENGER CAR PAINT STRIPING (WHITE) PER MANUFACTURER'S SPECIFICATIONS
 - PROVIDE AND INSTALL BICYCLE RACK PER DETAIL SHEET C10
 - MONUMENT SIGN REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS



PROPOSED FINANCIAL SALES CENTER FOR
first financial bank
 FOUNDERS SQUARE
 2610 NORTH HIGH SCHOOL RD
 SPECTERWAY, INDIANA 46204

REVISIONS

NO.	DATE	DESCRIPTION

RLB BANK ENGINEERING COMPANY, LLC
 CIVIL ENGINEER
 LICENSE NO. 12412
 WWW.RLBENGINEERING.COM
 CIVIL@RLBENGINEERING.COM

SITE DEVELOPMENT PLAN

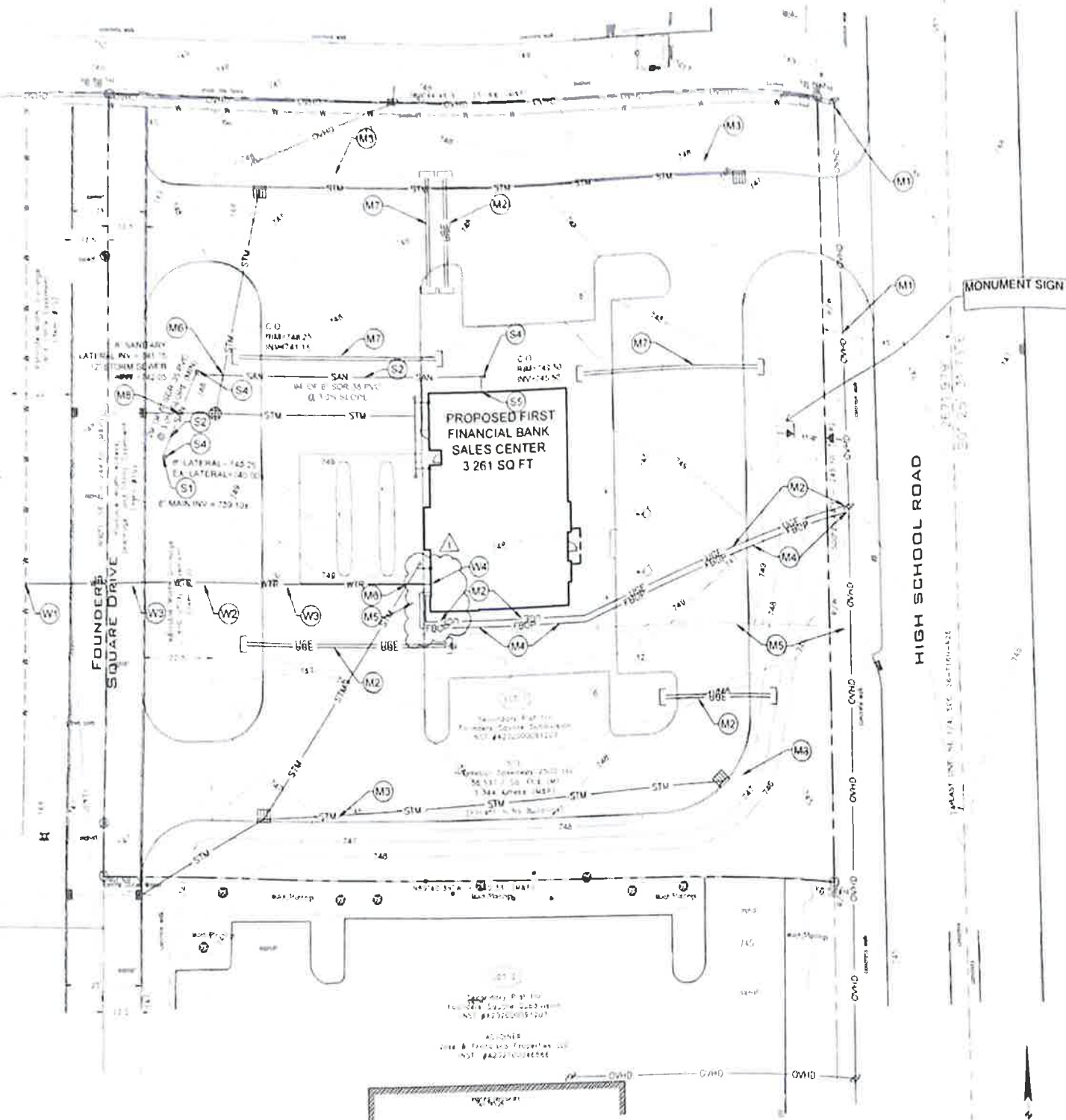
Drawn By: GH
 Scale: AS NOTED
 Date: 12/20/23

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SITE UTILITY PLAN
Scale 1" = 20'

UTILITY NOTES

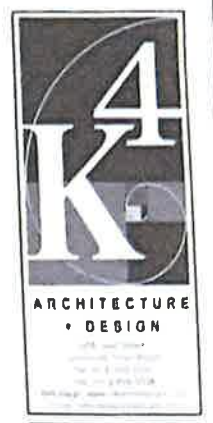
1. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND RECORD THEM ACCORDING TO THE STANDARD PRACTICES OF THE PROFESSION. ALL UTILITIES SHALL BE IDENTIFIED BY THE CONTRACTOR AND SHOWN ON THE SITE UTILITY PLAN.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND UTILITIES PROVIDERS.
3. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND UTILITIES PROVIDERS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND UTILITIES PROVIDERS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND UTILITIES PROVIDERS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND UTILITIES PROVIDERS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND UTILITIES PROVIDERS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND UTILITIES PROVIDERS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND UTILITIES PROVIDERS.

LEGEND

---	PROPERTY BOUNDARY	---	EXISTING WATER MAIN
---	EXISTING WATER MAIN	---	PROPOSED WATER MAIN
---	PROPOSED WATER MAIN	---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING UNDERGROUND ELECTRIC	---	PROPOSED UNDERGROUND ELECTRIC
---	PROPOSED UNDERGROUND ELECTRIC	---	EXISTING UNDERGROUND TELEPHONE
---	EXISTING UNDERGROUND TELEPHONE	---	PROPOSED UNDERGROUND TELEPHONE
---	PROPOSED UNDERGROUND TELEPHONE	---	EXISTING SANITARY LINE
---	EXISTING SANITARY LINE	---	PROPOSED SANITARY LINE
---	PROPOSED SANITARY LINE	---	EXISTING GAS LINE
---	EXISTING GAS LINE	---	PROPOSED GAS LINE
---	PROPOSED GAS LINE	---	EXISTING STORM SEWER LINE
---	EXISTING STORM SEWER LINE	---	PROPOSED STORM SEWER LINE

PLAN NOTES

- SANITARY SEWER**
1. CONTRACTOR SHALL VERIFY ALL EXISTING SANITARY SEWER LATERALS IN ACCORDANCE WITH THE CITY OF HOUSTON STANDARDS AND SPECIFICATIONS. REFER TO SANITARY SEWER SERVICE MANUAL FOR SANITARY SEWER CONNECTION STANDARDS OF DETAIL TO BEGINNING CONSTRUCTION. USE A NON-FRAGILE JOINT TO JOIN THE PROPOSED LATERAL TO THE EXISTING PIPE.
 2. PROPOSED SANITARY SEWER LATERAL TO BE 12" DIA. PER 145.25' PER DETAIL SHEET 1. MINIMUM TRACHER PIPE SHALL BE INSTALLED FROM THE LATERAL CONNECTION TO THE CLEANOUT AT THE BUILDING PER DETAIL SHEET 1.
 3. SANITARY SEWER ON THE CLEANOUT PER DETAIL SHEET 1.
 4. SANITARY SEWER TERMINAL CLEANOUT PER DETAIL SHEET 1.
 5. REFER TO MEP DRAWINGS FOR BUILDING CONNECTION INFORMATION.
- WATER SERVICE**
1. CONNECT TO EXISTING 12" DIA. IRON WATER MAIN WITH 1" CONNECTION STOP PER TOWN OF HOUSTON REQUIREMENTS. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING LINE PRIOR TO BEGINNING CONSTRUCTION.
 2. PROVIDE AND INSTALL 1" METER PIT PER TOWN OF HOUSTON SPECIFICATIONS PER DETAIL SHEET 1. METER PIT TO BE FINISHED AND SET BY CONTRACTOR.
 3. PROVIDE AND INSTALL 1" DIA. POLYETHYLENE GLASS REINFORCED WATER SERVICE LINE.
 4. PROVIDE AND INSTALL 1" DIA. POLYETHYLENE GLASS REINFORCED WATER SERVICE LINE FOOTER AND INTO THE BUILDING. THE 1/2" DIA. LINE MUST BE LOCATED WITHIN 4' OF THE EXTERIOR BUILDING WALL WHERE THE LINE ENTERS THE BUILDING. COORDINATE TERMINATION LOCATION AND ELEVATION WITH BUILDING TRADES PRIOR TO BEGINNING CONSTRUCTION.
- MISCELLANEOUS UTILITIES**
1. CONTRACTOR TO PROVIDE ALL NECESSARY UTILITIES. COORDINATE WITH ALL UTILITIES COMPANIES PRIOR TO CONSTRUCTION TO OBTAIN ALL NECESSARY PERMITS, ELEVATIONS AND PROTECTION REQUIRED TO ENSURE SERVICE IS NOT INTERRUPTED.
 2. PROPOSED UNDERGROUND ELECTRIC SERVICE CONNECTION LOCATION SERVICE TO BE INSTALLED IN 4" SCHEDULE 40 PVC CONDUITS. TYPICAL. CONTRACTOR TO COORDINATE CONNECTION AND SERVICE WITH ALL ENERGY AND TELECOMMUNICATIONS UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 3. APPROXIMATE LOCATION OF SITE LIGHT POLE. REFER TO SITE ELECTRICAL PLAN AND SITE PHOTOGRAPHIC PLAN FOR ADDITIONAL INFORMATION.
 4. PROPOSED OFF-PREMISE SERVICE FIBER OPTIC CONNECTION. SERVICE TO BE INSTALLED IN 1" RIBBED 40 PVC CONDUITS. TYPICAL. CONTRACTOR TO COORDINATE CONNECTION AND SERVICE WITH ALL ENERGY AND TELECOMMUNICATIONS UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 5. PROPOSED GAS SERVICE CONNECTION. CONTRACTOR TO COORDINATE CONNECTION SERVICE AND INSTALLATION WITH ALL ENERGY AND TELECOMMUNICATIONS UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 6. CONTRACTOR SHALL VERIFY THE VERTICAL SEPARATION. MINIMUM IS 18" BETWEEN WATER MAINS AND SEWER/SANITARY OR STORM LINES. REFER TO LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
 7. PROVIDE AND INSTALL 1" SCH 40S EPOXY COATED IRON PIPE FOR IRRIGATION LINES. REFER TO LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
 8. CONCRETE CURB TO BE PLACED BETWEEN SANITARY SEWER LATERAL AND STORM SEWER LATERAL. REFER TO DETAIL SHEET 1.



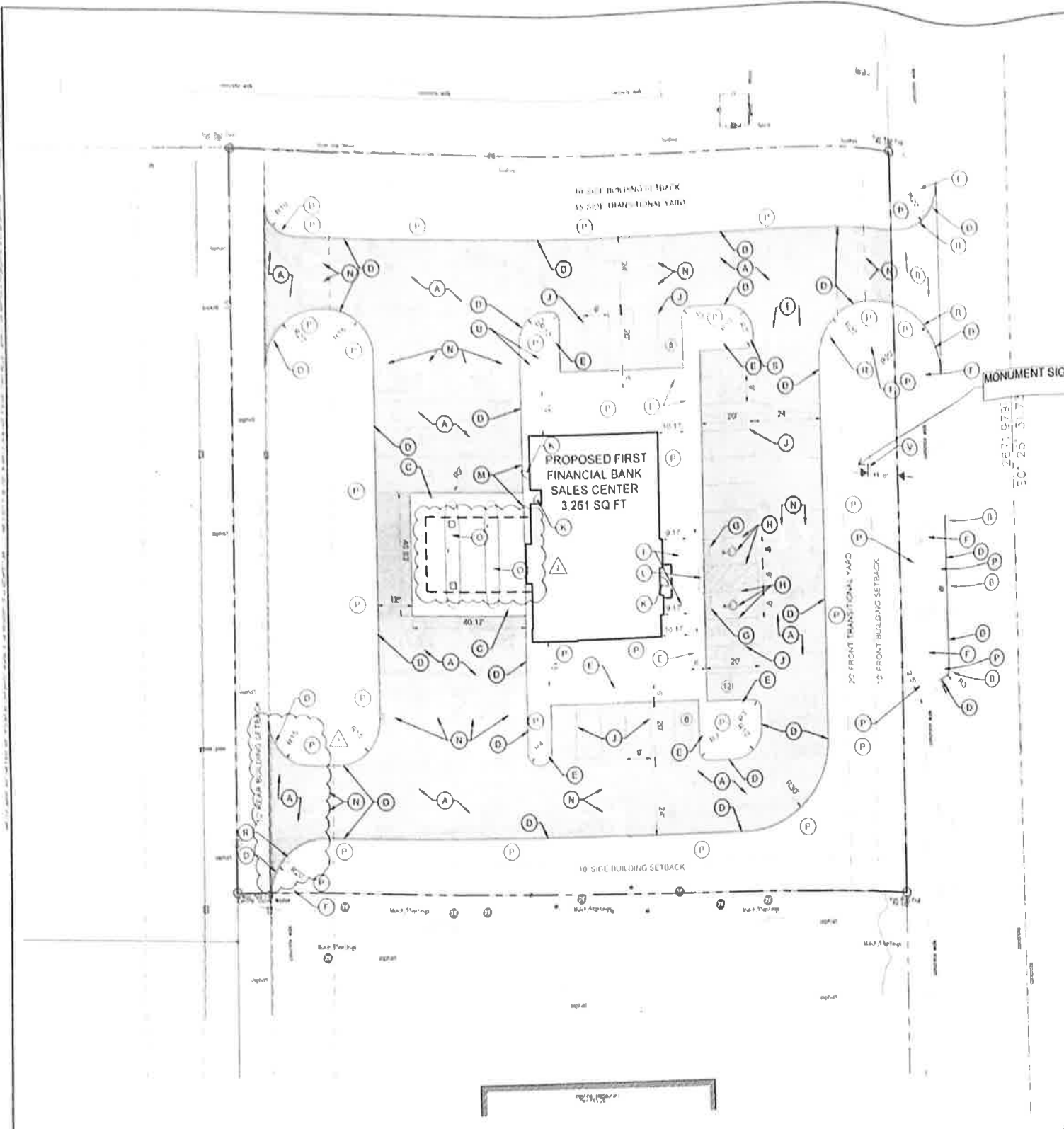
PROPOSED FINANCIAL BANK SALES CENTER
first financial bank
FOUNDERS SQUARE
2024-DVS-001
SANITARY SEWER, WATER, GAS, STORM

DATE	DESCRIPTION

PROJECT LOCATION: 3261 FOUNDERS SQUARE, HOUSTON, TX 77002
OWNER: FIRST FINANCIAL BANK
DATE: 11/15/23
DRAWN BY: [Signature]
CHECKED BY: [Signature]

SITE UTILITY PLAN
Drawn By: [Signature]
Scale: AS SHOWN
Job No: 2023-001
C5.0





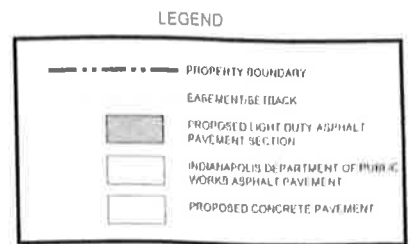
SITE DEVELOPMENT PLAN
Scale: 1" = 20'

DEVELOPMENT SUMMARY

TOTAL SITE AREA = 68,556 SF
ZONING = OFFICE COMMERCIAL (DISTRICT 02)
MINIMUM COVER AREA

PARKING REQUIREMENTS
PARKING SPACES REQUIRED (SEE TABLE)
1 SPACE PER 150 SF (MAXIMUM)
PARKING SPACES PROVIDED
1 SPACES (SEE LISTING 2 ACCESSIBLE SPACES)
DRIVE THROUGH REQUIRED AND PROVIDED
1 SPACE (SEE ONE ATM WINDOW LATER)

- SITE LAYOUT NOTES**
- ALL EXISTING UTILITIES TO BE MAINTAINED AND PROTECTED. ANY CHANGES TO BE MADE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL PARKING SPACES ARE TO BE PROVIDED WITH ACCESSIBLE SPACES PER DETAIL SHEET C10.
 - ALL DRIVEWAYS ARE TO BE PROVIDED WITH CURBS AND SIDEWALKS PER DETAIL SHEET C10.
 - ALL EXISTING UTILITIES TO BE MAINTAINED AND PROTECTED. ANY CHANGES TO BE MADE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF INDIANAPOLIS AND THE INDIANAPOLIS DEPARTMENT OF PUBLIC WORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF INDIANAPOLIS AND THE INDIANAPOLIS DEPARTMENT OF PUBLIC WORKS.
 - PROVIDE 18" MINIMUM CLEARANCE OVER ALL UTILITIES AND STRUCTURES. ALL UTILITIES TO BE MAINTAINED AND PROTECTED. ANY CHANGES TO BE MADE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
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- PLAN NOTES**
- PROVIDE AND INSTALL LIGHT DUTY ASPHALT PAVEMENT PER DETAIL SHEET C10.
 - PROVIDE AND INSTALL INDIANAPOLIS DEPARTMENT OF PUBLIC WORKS ASPHALT PAVEMENT PER DETAIL SHEET C10.
 - PROVIDE AND INSTALL CONCRETE PAVEMENT PER DETAIL SHEET C10.
 - PROVIDE AND INSTALL CONCRETE CURB PER DETAIL SHEET C10.
 - PROVIDE AND INSTALL CONCRETE CURB AND WALK PER DETAIL SHEET C10. REFER TO PLAN FOR PROPOSED TOTAL WIDTH AND HEIGHT.
 - PROVIDE AND INSTALL CONCRETE SIDEWALK PER DETAIL SHEET C10.
 - PROVIDE AND INSTALL PRECAST CONCRETE WALKWAY PER DETAIL SHEET C10.
 - PROVIDE AND INSTALL 4' WIDE ACCESSIBLE PARKING PAINT STRIPING (BLUE) AS SHOWN IN ACCORDANCE WITH INDIANA CODE 9-10-3-4.
 - ACCESSIBLE PARKING SIGN BY OWNER.
 - PROVIDE AND INSTALL 4' WIDE PASSENGER CAR PAINT STRIPING (WHITE).
 - CONCRETE STAIR: REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - PROVIDE AND INSTALL CURB RAMP WITH DETECTABLE WARNING SURFACE PER INDOT STANDARD DRAWING 604-SW-02. REFER TO SHEET C10 FOR DETAILS.
 - TAPER CONCRETE CURB FROM 6" TO 4" OVER LAST 2'.
 - PROVIDE AND INSTALL PAINTED DIRECTIONAL ARROW (WHITE) PER MANUFACTURER'S SPECIFICATIONS.
 - PROVIDE AND INSTALL 6" CONCRETE MEDIAN PER STRUCTURAL PLAN.
 - PROVIDE A MINIMUM 5' VERTICLE CLEARANCE OF SUSTAINING LAWN GROWTH. EXPOSED AREAS TO BE RESEDED.
 - PROVIDE AND INSTALL PERPENDICULAR CURB RAMP WITH BUFFER AND DETECTABLE WARNING SURFACE PER INDOT STANDARD DRAWING 604-SW-03. REFER TO SHEET C10 FOR DETAILS.
 - PROVIDE AND INSTALL PERPENDICULAR CURB RAMP ADJACENT CURB WITH DETECTABLE WARNING SURFACE PER INDOT STANDARD DRAWING 604-SW-05. REFER TO SHEET C10 FOR DETAILS.
 - PROVIDE AND INSTALL 2' WIDE PASSENGER CAR PAINT STRIPING (WHITE) PER MANUFACTURER'S SPECIFICATIONS.
 - PROVIDE AND INSTALL BICYCLE RACK PER DETAIL SHEET C10.
 - MONUMENT SIGN: REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS.



PROPOSED FINANCIAL SALES CENTER FOR
first financial bank
FOUNDERS SQUARE
3810 NORTH HIGH SCHOOL RD
SHELLEYSBURG, INDIANA 46224

REVISIONS

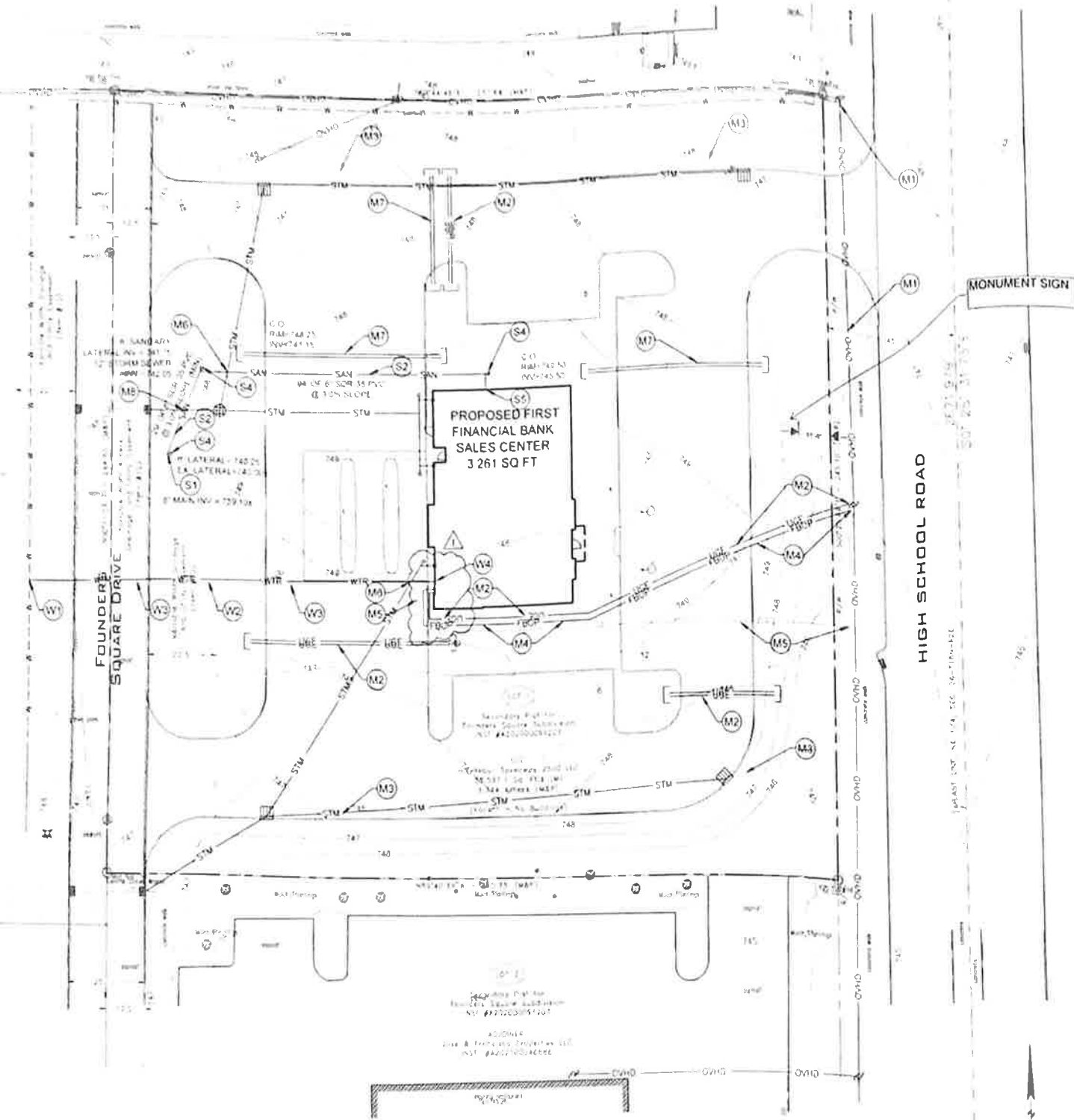
NO.	DATE	DESCRIPTION

RFD BANK ENGINEERING COMPANY, LLC
Civil Engineering Consulting Services
1177 E 77th St, Suite 100
WASHTON, IN 46783
WWW.RFDENGINEERING.COM
CONTACT: (317) 841-1100

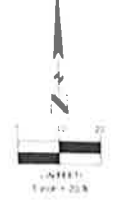
SITE DEVELOPMENT PLAN

Drawn By: CH
Scale: AS NOTED
Date: 03/01/17

811 Know what's below. Call before you dig.
C2.0



SITE UTILITY PLAN
Scale 1" = 20'



UTILITY NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND CHARACTERISTICS OF ALL UTILITIES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN ON THIS PLAN BY EXCAVATING AT THE LOCATIONS INDICATED. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN ON THIS PLAN BY EXCAVATING AT THE LOCATIONS INDICATED.
2. STANDARD SPECIFICATIONS FOR THE THIRTY FREEDAY SHALL APPLY TO ALL UTILITIES EXCEPT SANITARY SEWER AND WATER MAINS.
3. ANY PART OF THE SANITARY SEWER OR WATER MAINS WHICH IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED TO THE SIDE OF THE STREET.
4. ALL WATER MAINS SHALL BE 12" DIAMETER UNLESS OTHERWISE SPECIFIED.
5. ALL SANITARY SEWER MAINS SHALL BE 12" DIAMETER UNLESS OTHERWISE SPECIFIED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO AND THE STATE OF ILLINOIS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO AND THE STATE OF ILLINOIS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO AND THE STATE OF ILLINOIS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO AND THE STATE OF ILLINOIS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO AND THE STATE OF ILLINOIS.

LEGEND

---	PROPERTY BOUNDARY
---	EASEMENT EASEMENT
---	EX. WATER LINE
---	PROP. WATER LINE
---	EX. UNDERGROUND ELECTRIC
---	PROP. UNDERGROUND ELECTRIC
---	EX. UNDERGROUND TELEPHONE
---	PROP. UNDERGROUND TELEPHONE
---	EX. SANITARY LINE
---	PROP. SANITARY LINE
---	EX. GAS LINE
---	PROP. GAS LINE
---	EX. STORM SEWER LINE
---	PROP. STORM SEWER LINE

PLAN NOTES

- SANITARY SEWER**
1. CONNECT TO EXISTING SANITARY SEWER LATERAL IN ACCORDANCE WITH TOWN OF CHICAGO SPECIFICATIONS AND SPECIFICATIONS REFER TO SANITARY SEWER SERVICE BUILDING SERVICE CONNECTION STANDARD DETAIL CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING LINE PRIOR TO BEGINNING CONSTRUCTION. USE A NON-METAL SOUNDING DEVICE TO LOCATE LATERAL TO THE EXISTING PIPE.
 2. PROPOSED SANITARY SEWER LATERAL TO BE 12" DIAMETER 30% SLOPE WITH 2% SLOPE MINIMUM. TRUNK LINE SHALL BE INSTALLED FROM THE EXISTING CONNECTION TO THE CLEANOUT AT THE BUILDING PER DETAIL SHEET.
 3. SANITARY SEWER FILING CLEANOUT PER DETAIL SHEET.
 4. SANITARY SEWER TERMINAL CLEANOUT PER DETAIL SHEET.
 5. REFER TO MEP DRAWINGS FOR BUILDING CONNECTION INFORMATION.
- WATER SERVICE**
1. CONNECT TO EXISTING 6" DUCTILE IRON WATER MAIN WITH 1" CONNECTION STOP PER TOWN OF CHICAGO REQUIREMENTS. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING LINE PRIOR TO BEGINNING CONSTRUCTION.
 2. PROVIDE AND INSTALL 1" WATER SERVICE TYPICAL PER DETAIL SHEET. METER SET TO BE FURNISHED AND SET BY CONTRACTOR.
 3. PROVIDE AND INSTALL 1" POLYETHYLENE DOMESTIC WATER SERVICE LINE.
 4. PROVIDE AND INSTALL 1" DUCTILE IRON FROM A POINT OUTSIDE THE BUILDING FOOTER AND INTO THE BUILDING. THE 1" DUCTILE IRON LINE MUST BE LOCATED WITHIN 5' OF THE EXTERIOR BUILDING WALL AND THE LINE ENTERING THE BUILDING COORDINATE TERMINATION LOCATION AND ELEVATION WITH BUILDING TRADES PRIOR TO BEGINNING CONSTRUCTION.
- MISCELLANEOUS UTILITIES**
1. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES. COORDINATE WITH ALL UTILITIES PRIOR TO CONSTRUCTION TO DETERMINE EXACT LOCATIONS, ELEVATIONS, AND PROTECTION REQUIRED TO ENSURE SERVICE IS NOT INTERRUPTED.
 2. PROPOSED UNDERGROUND ELECTRIC SERVICE CONNECTIONS SHALL BE INSTALLED IN 4" SCHEDULE 40 PIPE CONDUITS. CONTRACTOR TO COORDINATE CONNECTION AND SERVICE WITH ELECTRICAL AND SITE ELECTRICAL PLAN PRIOR TO BEGINNING CONSTRUCTION.
 3. APPROXIMATE LOCATION OF SITE LIGHT POLES. REFER TO SITE ELECTRICAL PLAN AND SITE LIGHTING PLAN FOR ADDITIONAL INFORMATION.
 4. PROPOSED PHONE SERVICE FROM OFFICE CONNECTION. SERVICE TO BE INSTALLED IN 1/2" SCHEDULE 40 PIPE CONDUITS. CONTRACTOR TO COORDINATE CONNECTION AND SERVICE WITH WIRE AND CABLE TRADES PRIOR TO BEGINNING CONSTRUCTION.
 5. PROPOSED GAS SERVICE CONNECTION. CONTRACTOR TO COORDINATE CONNECTION SERVICE AND METER LOCATION WITH CITY OF CHICAGO AND GROUP INSURANCE PRIOR TO BEGINNING CONSTRUCTION.
 6. CONTRACTOR SHALL ENSURE 18" VERTICAL SEPARATION MINIMUM IS PROVIDED BETWEEN WATER LINES AND SEWER SANITARY OR STORM LINES. REFER TO LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
 7. PROVIDE AND INSTALL 1" SCHEDULE 40 PIPE CONDUITS FOR TELEVISION AND CABLE SERVICE. REFER TO LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
 8. CONDUIT SHALL BE INSTALLED BETWEEN SANITARY SEWER LATERAL AND EXISTING STORM SEWER. REFER TO DETAIL SHEET.



PROPOSED 100% PRELIMINARY SITE UTILITIES PLAN

first financial bank
first financial bank
FOUNDERS SQUARE
2017 FOUNDERS SQUARE, CHICAGO, IL 60611
SHEET 0501 - UTILITY PLAN

DATE:	05/11/2017
PROJECT:	100% PRELIMINARY SITE UTILITIES PLAN
SHEET:	0501 - UTILITY PLAN
SCALE:	AS SHOWN
DATE:	05/11/2017

ALL DRAWINGS SHALL BE SUBMITTED TO THE CITY OF CHICAGO FOR REVIEW AND APPROVAL. THE CITY OF CHICAGO SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO AND THE STATE OF ILLINOIS.

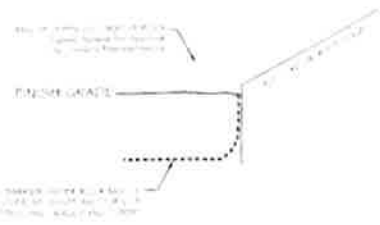
SITE UTILITY PLAN

DATE:	05/11/2017
PROJECT:	100% PRELIMINARY SITE UTILITIES PLAN
SHEET:	0501 - UTILITY PLAN
SCALE:	AS SHOWN
DATE:	05/11/2017

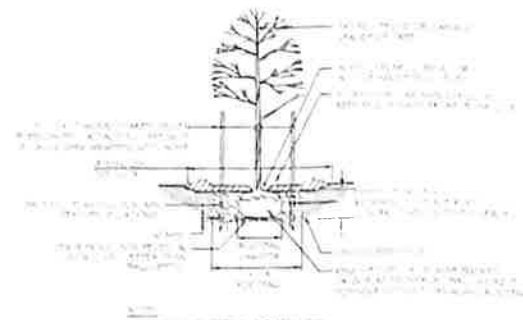
C5.0



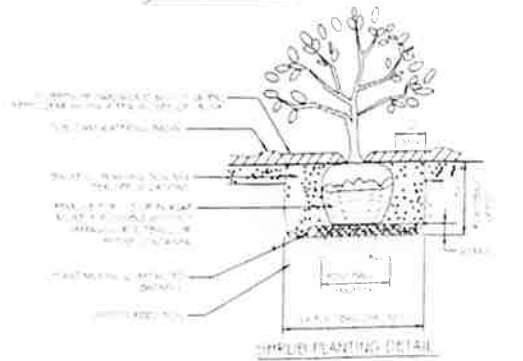
DECORATIVE ROCK INSTALLATION



PLANT INSTALLATION DETAILS



TREE PLANTING DETAIL

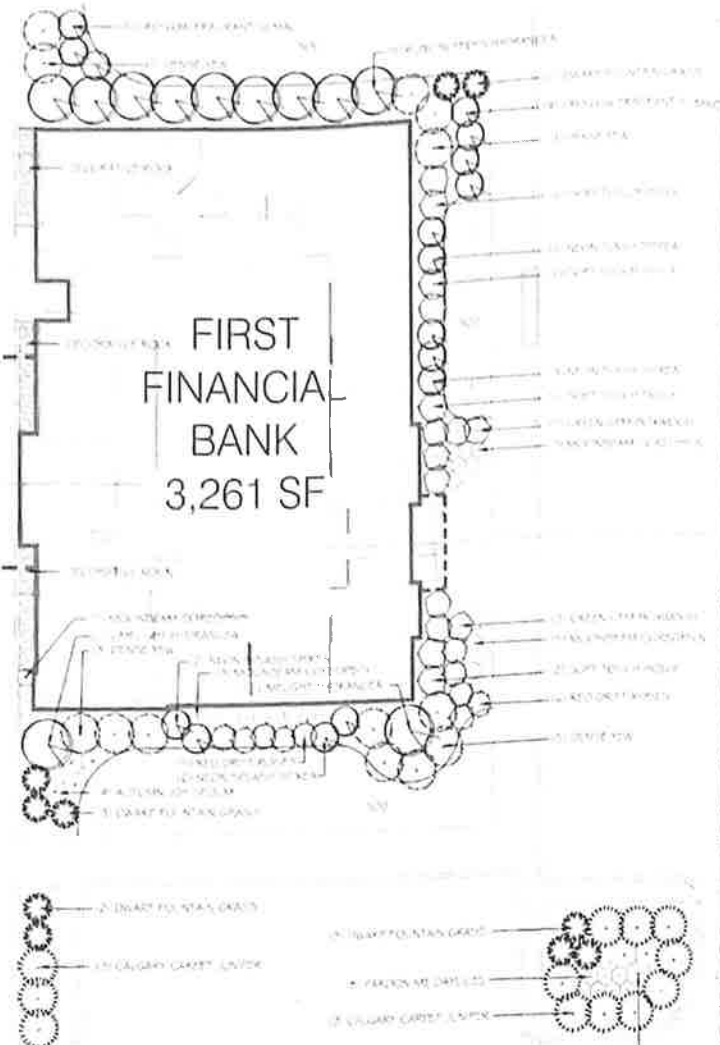


LANDSCAPE REQUIREMENTS

1. ALL LANDSCAPE MATERIALS SHALL BE SUPPLIED BY THE CONTRACTOR TO THE PROJECT SITE AND BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE MICHIGAN LANDSCAPE DESIGN AND INSTALLATION MANUAL.

2. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE MICHIGAN LANDSCAPE DESIGN AND INSTALLATION MANUAL.

3. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE MICHIGAN LANDSCAPE DESIGN AND INSTALLATION MANUAL.



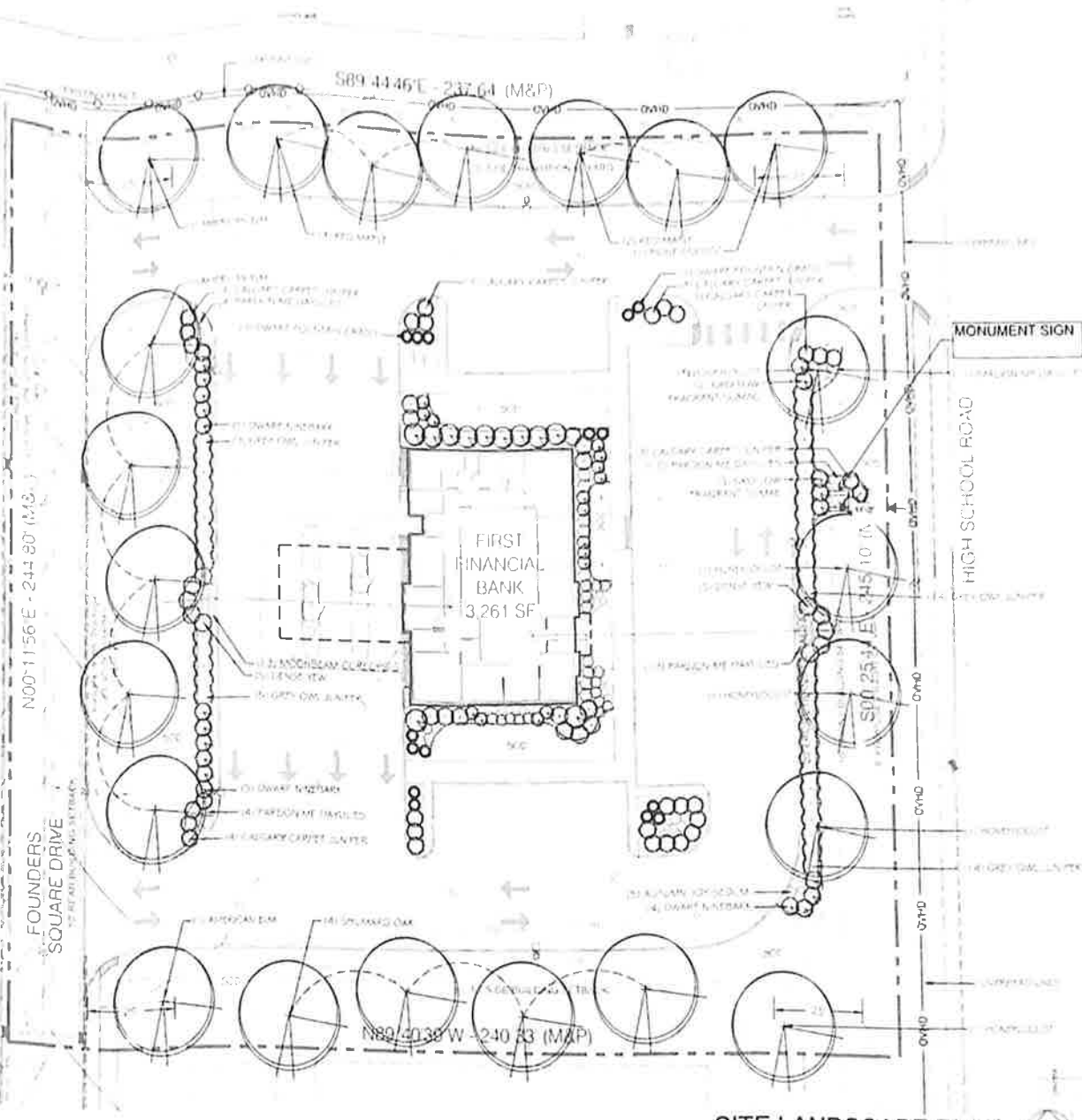
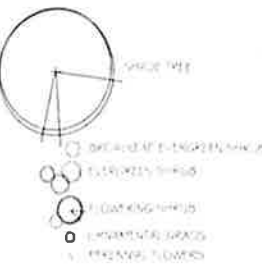
DETAIL LANDSCAPE PLAN

SCALE 1" = 10'
GRAPHIC SCALE 0 10 20 30 40

PLANT MATERIALS LIST

QTY	PLANT NAME	MINIMUM INSTALLED SIZE
10	SPRING GREEN HYDRANGEA	24" H
10	RED TWIG DOGWOOD	24" H
10	SM. YELLOWS PINE	24" H
10	SM. BIRCH	24" H
10	SM. RED MAPLE	24" H
10	SM. WHITE BIRCH	24" H
10	SM. AMERICAN DOGWOOD	24" H
10	SM. PINE	24" H
10	SM. SPICE TREE	24" H
10	SM. BLUE SPRUCE	24" H
10	SM. NORWAY SPRUCE	24" H
10	SM. FUR FERN	24" H
10	SM. LILY TURF	24" H
10	SM. PINK PASTEL PANSY	24" H
10	SM. PINK PASTEL PANSY	24" H
10	SM. PINK PASTEL PANSY	24" H
10	SM. PINK PASTEL PANSY	24" H

PLANT LEGEND



SITE LANDSCAPE PLAN

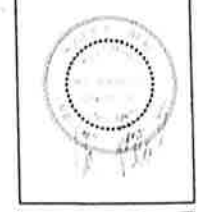
SCALE 1" = 20'
GRAPHIC SCALE 0 20 40 60 80

LANDSCAPE CODE REQUIREMENTS

1. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE MICHIGAN LANDSCAPE DESIGN AND INSTALLATION MANUAL.

2. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE MICHIGAN LANDSCAPE DESIGN AND INSTALLATION MANUAL.

3. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE MICHIGAN LANDSCAPE DESIGN AND INSTALLATION MANUAL.



PROFESSIONAL LANDSCAPER CERTIFICATE
first financial bank
FOUNDERS SQUARE
3010 North Main Street, 3rd floor
ANN ARBOR, MI 48104

DATE	DESCRIPTION



LANDSCAPE PLAN
Drawn By: AK
Scale: As Noted
Date: 12/11/14